

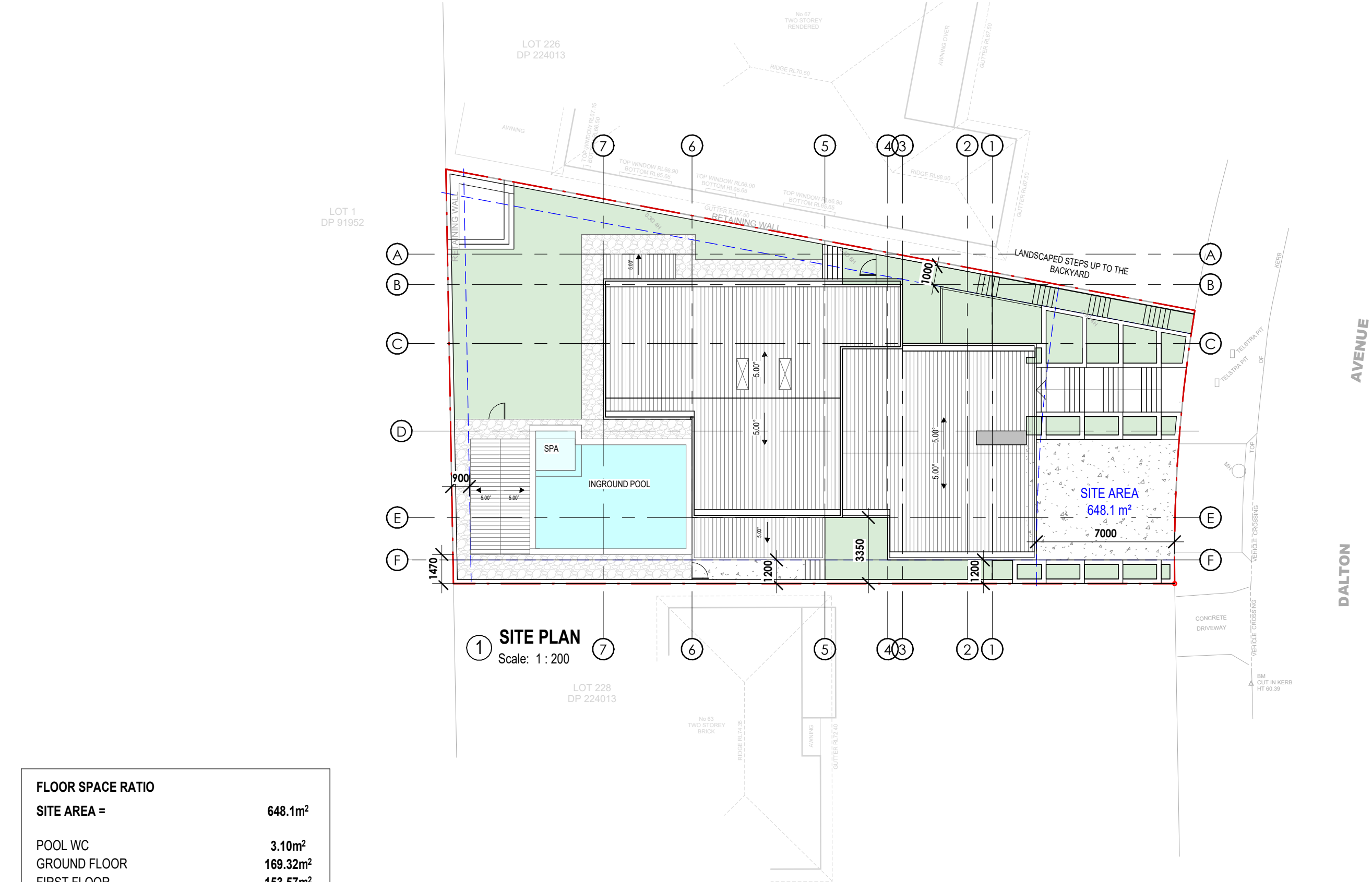
SECTION 4.55 - MODIFICATION TO THE EXISTING APPROVAL WITH MINIMAL ENVIRONMENTAL IMPACT

65 DALTON AVENUE, CONDELL PARK, NSW 2200



FOR S.4.55 ONLY

ISSUE	DATE	AMENDMENT	VERIFY ALL DIMENSIONS AND LEVELS ON SITE, REPORT ANY DISCREPANCIES PRIOR TO THE COMMENCEMENT OF WORK AND DO NOT SCALE FROM DRAWINGS. AYA CONSTRUCTIONS CANNOT GUARANTEE THE ACCURACY OF CONTENT AND FORMAT FOR COPIES OF DRAWINGS ISSUED ELECTRONICALLY. THE DRAWING SHALL NOT BE USED FOR CONSTRUCTION UNLESS ENDORSED FOR CONSTRUCTION AND AUTHORISED FOR ISSUE. INFORMATION CONTAINED IN THIS DRAWING/FILES IS THE COPYRIGHT OF AYA CONSTRUCTIONS. COPYING OR USING THIS DATA IN WHOLE OR PART, IN ANY FORMAT, WITHOUT PERMISSION INFRINGES COPYRIGHT.		AYA CONSTRUCTIONS 1300 123 AYA (292) 0433 022 992 P O BOX 665 KINGSGROVE NSW 2208 w: www.ayaconstructions.com.au E: info@ayaconstructions.com.au	PROJECT SECTION 4.55 ADDRESS 65 DALTON AVENUE, CONDELL PARK, NSW 2200	SHEET SIZE: A3 SCALE DATE 3/10/2024 12:16:01 PM	SHEET NAME DRAWING NUMBER 3D ILLUSTRATION 00	ISSUE NO.
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FLOOR SPACE RATIO

SITE AREA = 648.1m²

POOL WC 3.10m²

GROUND FLOOR 169.32m²

FIRST FLOOR 153.57m²

TOTAL LIVING AREA 325.99m²

(Excl. Alfresco, Voids, Porch,
Garages & Balconies)

FLOOR SPACE RATIO 50.3%

MAX ALLOWABLE BY COUNCIL 50%

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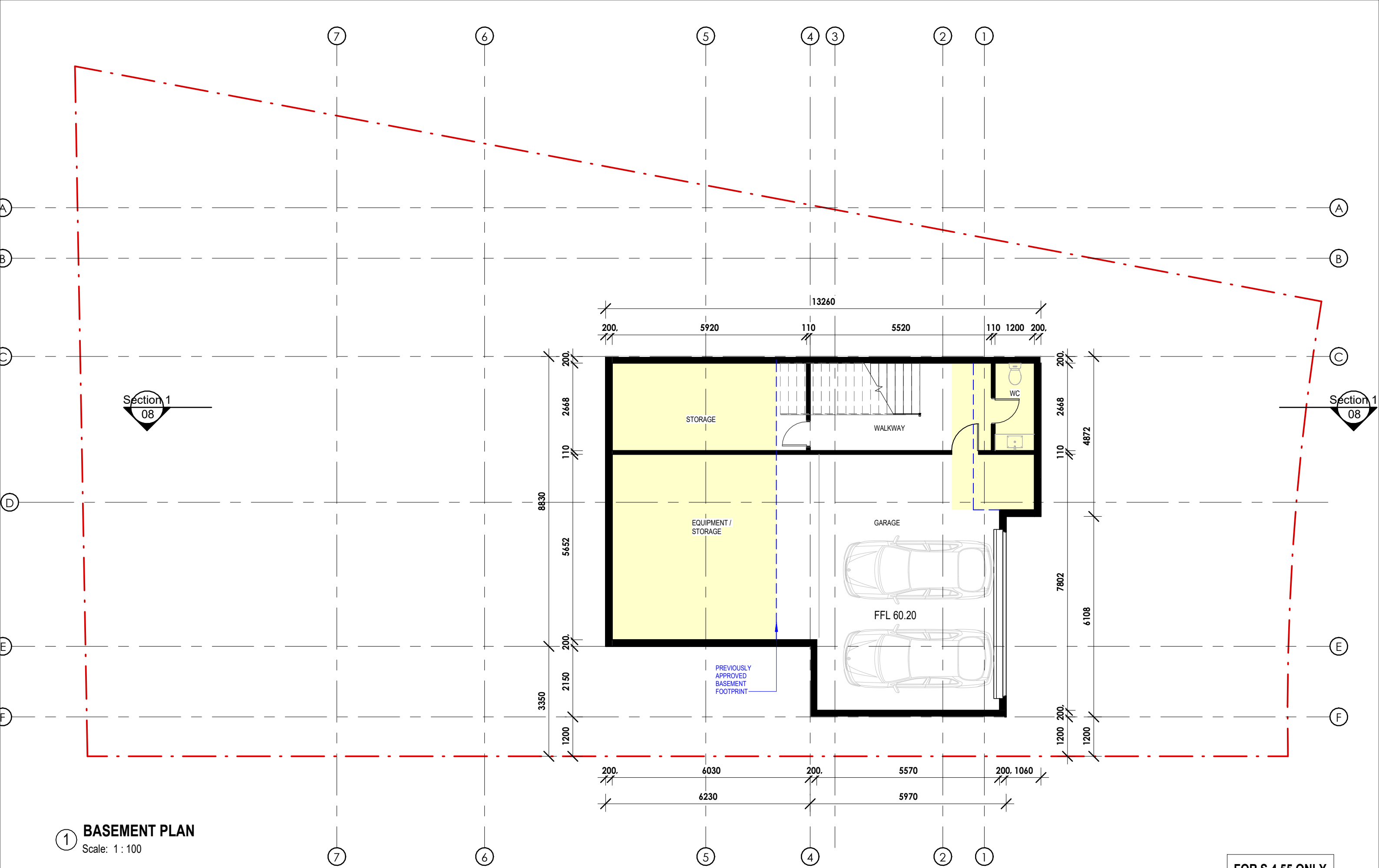
PROJECT
SECTION 4.55
ADDRESS
65 DALTON AVENUE, CONDELL PARK, NSW 2200

SHEET SIZE: A3
SCALE 1:200
DATE 3/10/2024
12:16:01 PM



SHEET NAME
DRAWING NUMBER
PROPOSED SITE PLAN
01

ISSUE NO.



1 BASEMENT PLAN
Scale: 1 : 100

FOR S.4.55 ONLY

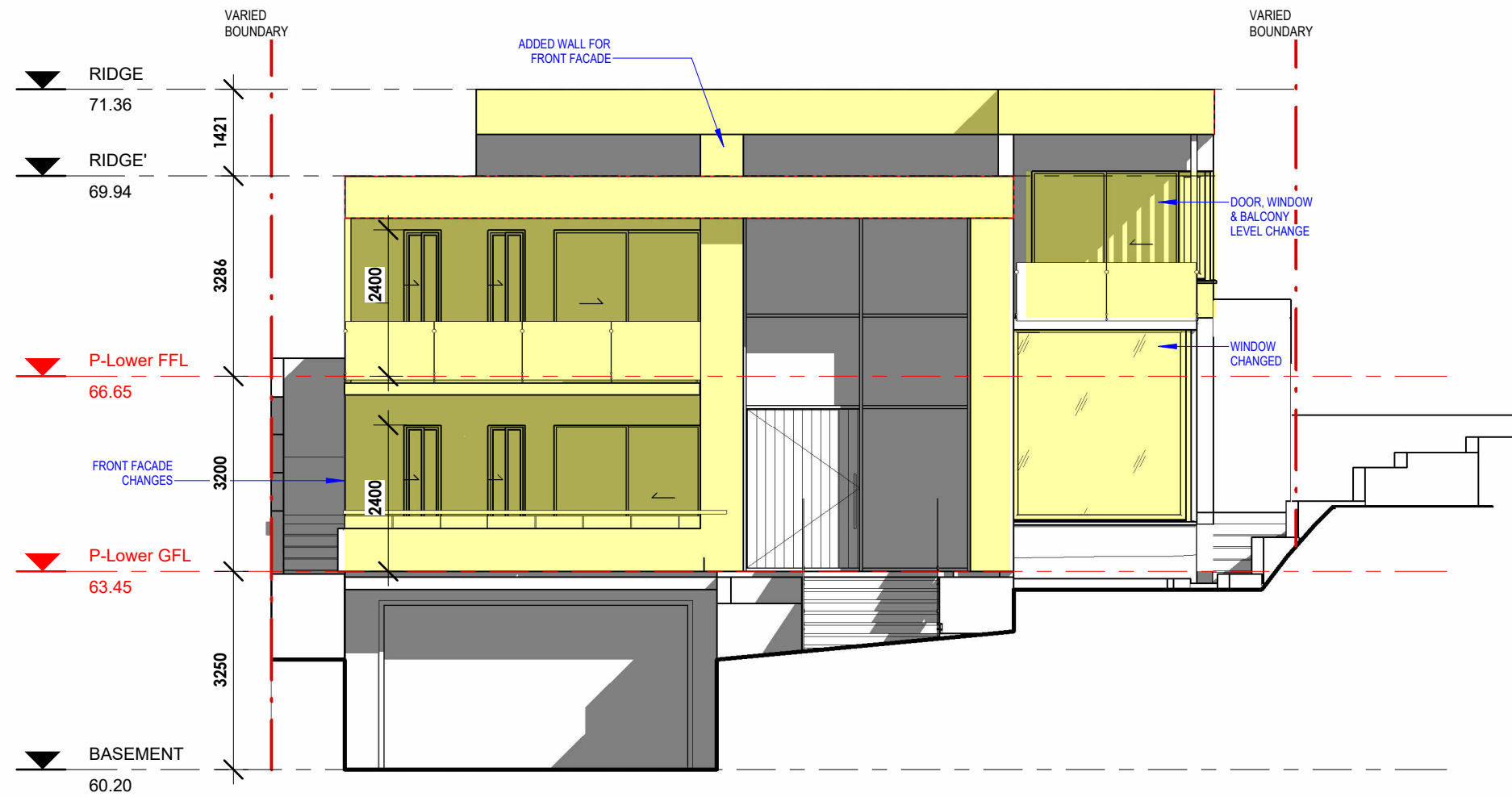
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1 PROPOSED FIRST FLOOR PLAN
Scale: 1 : 100

WINDOW NOTE:
THE FIRST FLOOR BEDROOM WINDOWS MUST BE PROTECTED FROM OPENING MORE THAN 125MM AND WILL BE REQUIRED TO RESTRICTED

FOR S.4.55 ONLY



1 NORTH ELEVATION
Scale: 1 : 100



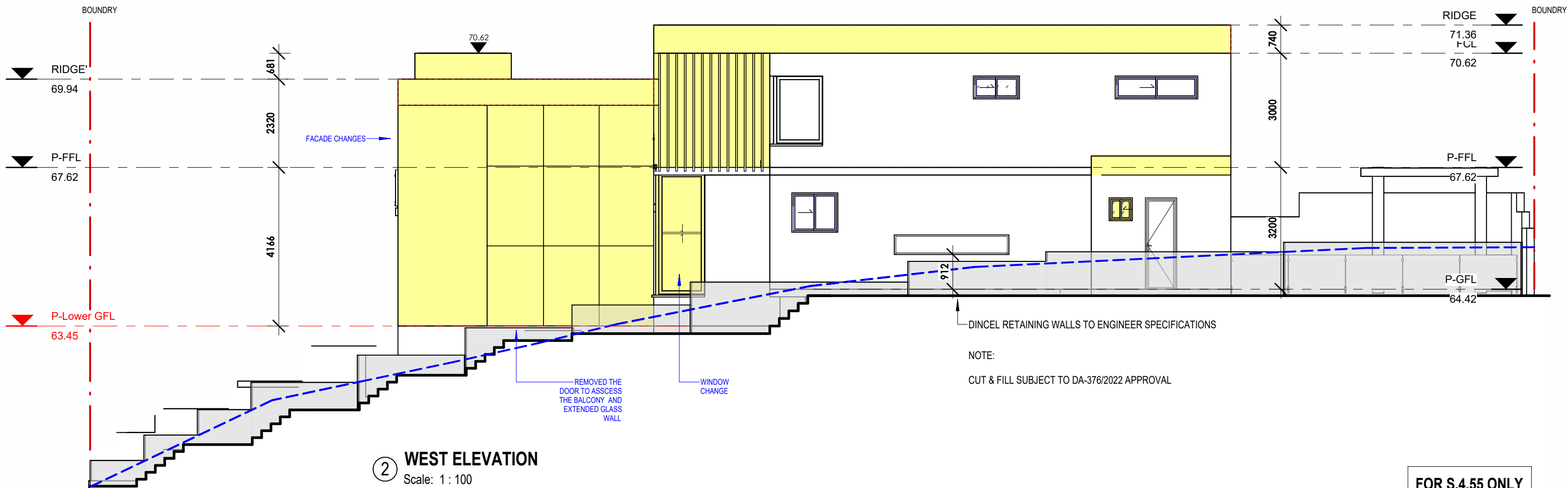
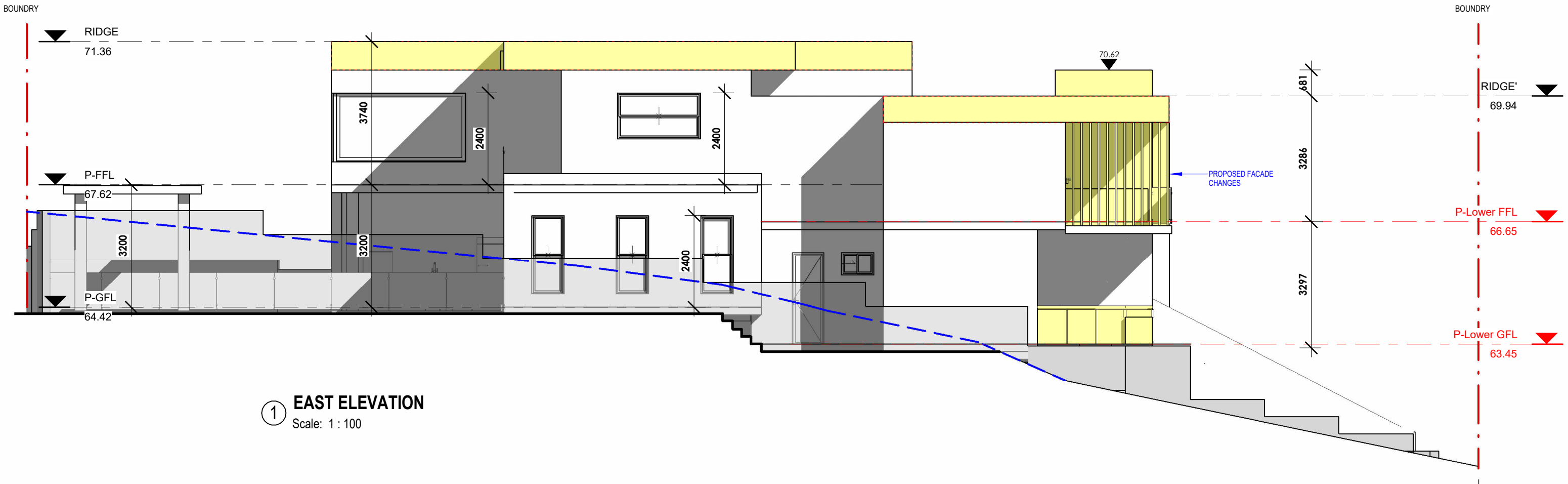
2 SOUTH ELEVATION
Scale: 1 : 100

Door Schedule					
Mark	Type Mark	Type	Height	Width	Comments
1	D.18	AUS Sgl Glass framed w d-pull	2625	1855	
2	D.06	SINGLE DOOR - 2400H 820W	2400	820	
3	D.03	BI-FOLD DOOR - 2400H 2800W	2400	4800	
5	D.09	SLIDING DOOR -2700H 2400W 2	2400	2400	
6	D.12	DOUBLE DOOR - 2100H x 1600W 2	2100	1600	
7	D.09	SLIDING DOOR -2700H 2400W 2	2400	2400	
8	D.19	SLIDING DOOR -2400H 2400W	2400	2400	
9	D.20	SLIDING DOOR -2700H 3576W	2400	3576	
13	D.06	SINGLE DOOR - 2400H 820W	2400	820	


Window Schedule						
Mark	Type	Location	Height	Width	Sill Height	Comments
1	CUSTOM CORNER WINDOW (SLIDING)(1)	STUDY	3216	2931	800	
2	ASW 1012	PANTRY	1029	1210	1500	
3	XAF4-1Q	KITCHEN	514	3010	912	
4	ASW 0606	WC	600	850	2766	
5	CUSTOM ASW 2487	LIVING / DINNING	2400	6475	0	
6	AAW 2008	LIVING	2057	850	343	
7	ASW 0608 OBSCURED	PDR	600	850	1800	
8	AWS 0608 OBSCURED	ENS	600	610	1800	
9	AWS 0608 OBSCURED 4	GUEST / MB	1800	610	600	
10	ASW 1221	BED 2	1200	2170	1200	
11	CUSTOM CORNER WINDOW (SLIDING)	BED 3	1800	1708	600	
12	ASW 1821	BED 4	1800	2170	600	
13	ASW 0621	BED 4	600	2170	1800	
14	AAW 0612 OBSCURED	BATH	600	1210	2766	
15	CUSTOM CORNER WINDOW(2)	SITTING	1800	1293	600	
16	AWS 0608 OBSCURED 3	ENS	600	1200	1800	

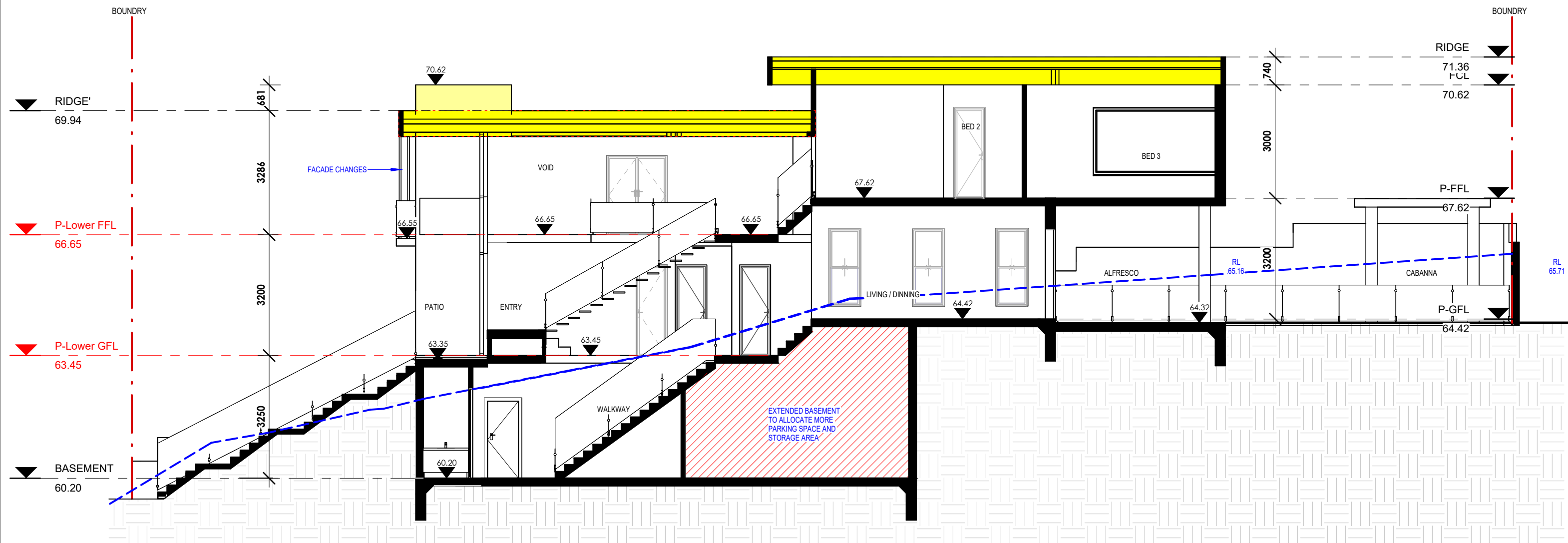
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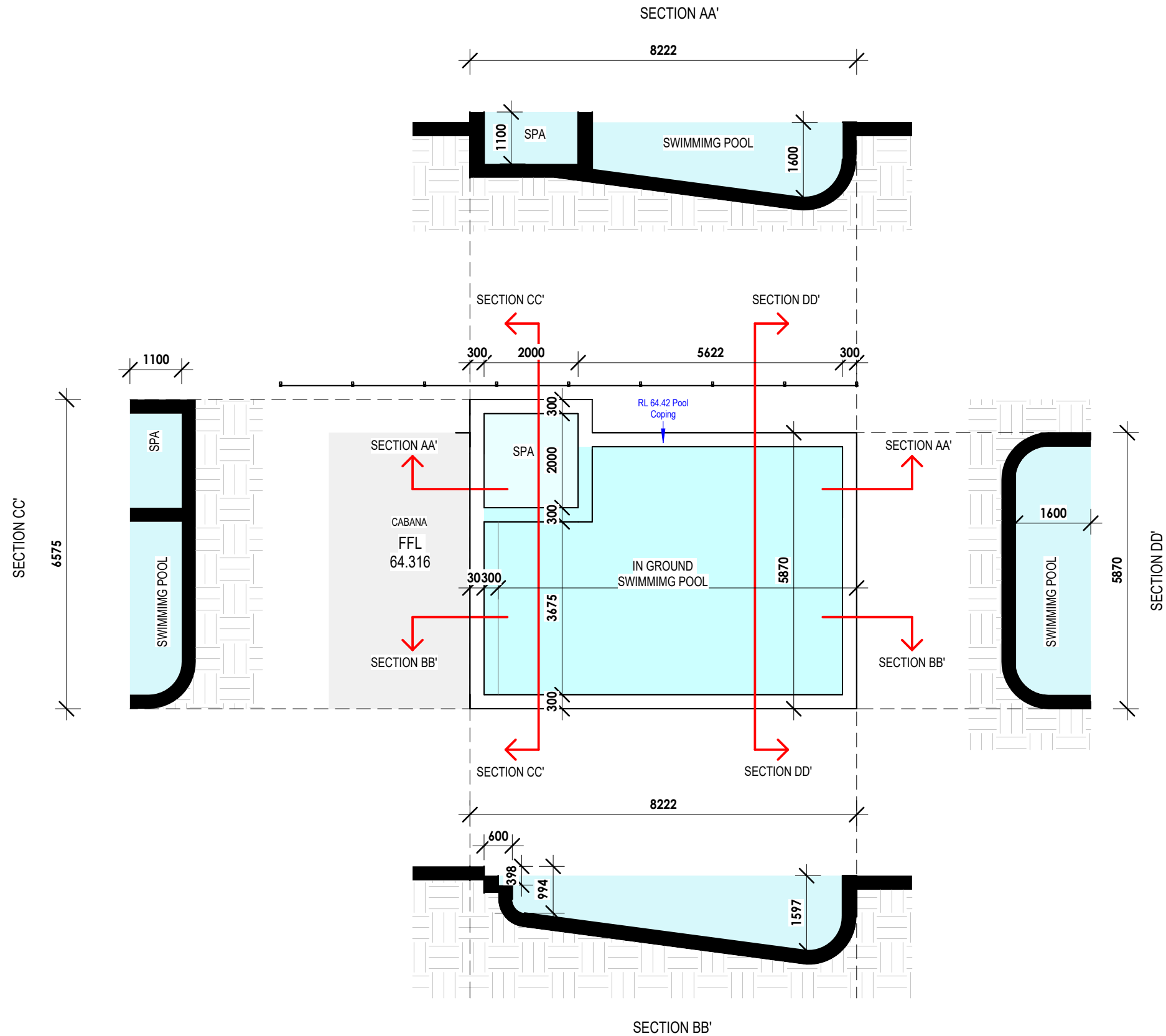
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① **Section 1**
Scale: 1 : 100



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ISSUE	DATE	AMENDMENT	VERIFY ALL DIMENSIONS AND LEVELS ON SITE, REPORT ANY DISCREPANCIES PRIOR TO THE COMMENCEMENT OF WORK AND DO NOT SCALE FROM DRAWINGS. AYA CONSTRUCTIONS CANNOT GUARANTEE THE ACCURACY OF CONTENT AND FORMAT FOR COPIES OF DRAWINGS ISSUED ELECTRONICALLY. THE DRAWING SHALL NOT BE USED FOR CONSTRUCTION UNLESS ENDORSED FOR CONSTRUCTION AND AUTHORISED FOR ISSUE. INFORMATION CONTAINED IN THIS DRAWING/FILES IS THE COPYRIGHT OF AYA CONSTRUCTIONS. COPYING OR USING THIS DATA IN WHOLE OR PART, IN ANY FORMAT, WITHOUT PERMISSION INFRINGES COPYRIGHT.		AYA CONSTRUCTIONS 1300 123 AYA (292) 0433 022 992 P O BOX 665 KINGSGROVE NSW 2208 w: www.ayaconstructions.com.au E: info@ayaconstructions.com.au	PROJECT SECTION 4.55 ADDRESS 65 DALTON AVENUE, CONDELL PARK, NSW 2200	SHEET SIZE: A3 SCALE 1 : 100 DATE 3/10/2024 12:16:05 PM	SHEET NAME DRAWING NUMBER PROPOSED SECTIONS 08	ISSUE NO.
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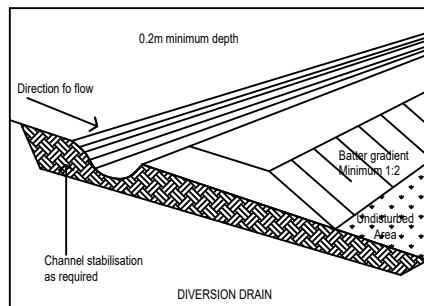
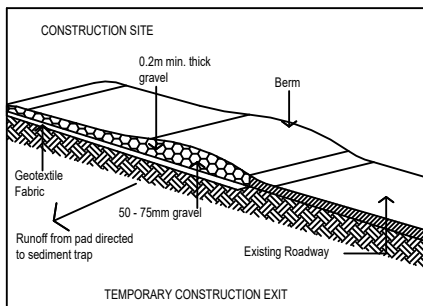
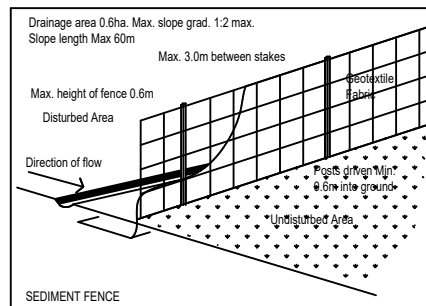
1 SWIMMING POOL DETAIL
Scale: 1 : 100

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1 DEMOLITION AND SEDIMENT CONTROL PLAN
Scale: 1 : 200



GENERAL LEGEND

STOCKPILE



WASTE STORAGE & RECYCLING AREA



ACCESS FOR VEHICLES



MATERIAL STORAGE



GARBAGE BIN



SILT FENCE



GREEN STORAGE





PORTABLE TOILET

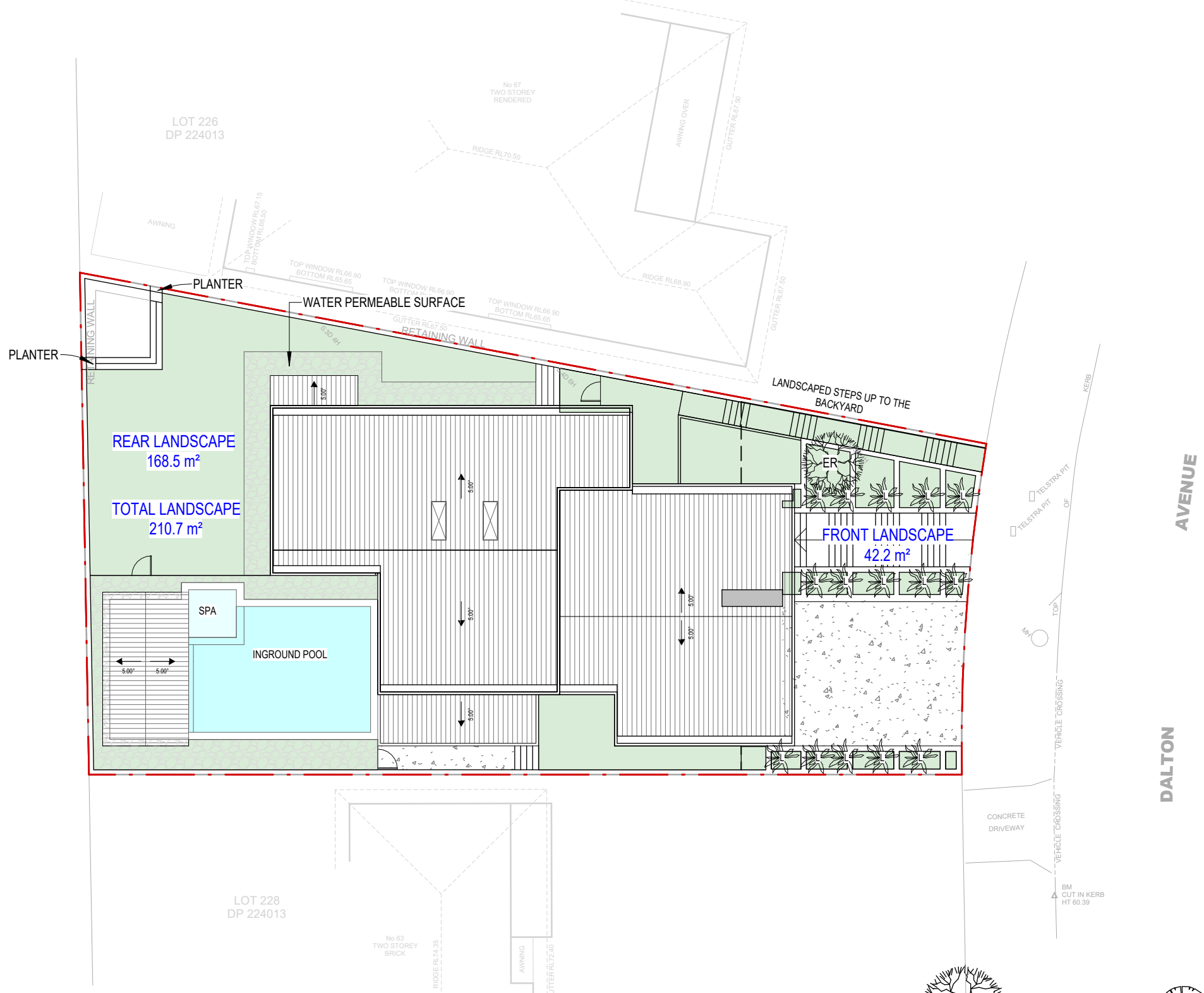


NOTES

1. NO VEHICLE CROSSING OR STOCKPILING OF MATERIAL SHOULD OCCUR ON THE VEGETATED BUFFER.
2. ALL SEDIMENT CONTROL STRUCTURES SHOULD BE INSPECTED & MAINTAINED BY THE SITE MANAGE DAILY
3. ALL SEDIMENT RETAINING STRUCTURES SHOULD BE CLEANED ON REACHING 50% STORAGE CAPACITY. SEDIMENT REMOVED SHOULD BE SPREAD WITHIN THE DISTURBED AREA.
4. ALL EXISTING VEGETATION ON THE SITE PERIMETER MUST BE RETAINED.
5. ROOF GUTTERS AND DOWNPIPES MUST BE CONNECT TO THE SITE DRAINAGE IMMEDIATELY AFTER ROOF CONSTRUCTION.
6. ALL DISTURBED AREA ARE TO BE RE-VEGETATED OR STABILISED TO PREVENT EROSION. I.E. LANDSCAPING/ MULCHING/ TURFING.
7. MATERIALS AREA NOT TO BE STORED ON THE FOOTPATH.

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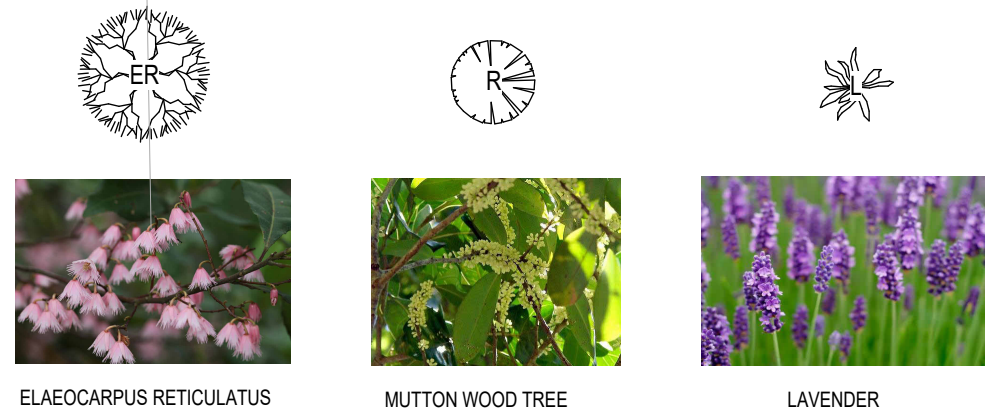
LEGEND

- LANDSCAPE
- PRIVATE OPEN SPACE

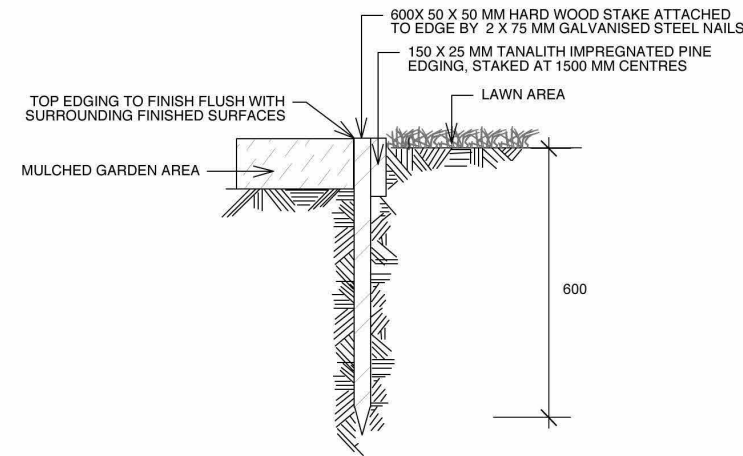
PLANTING SCHEDULE

TREES	SYMBOL	BOTANIC NAME	COMMON NAME	QUANTITY	POT SIZE	MATURE
SHRUBS	L	LAVANDULA SPP	LAVENDER	15	140MM	1M
TUSSOK /FRAGRANT FOILAGE	R	RAPANEA VARIABILIS	MUTTON WOOD	2	15L	3M
	ER	ELAEOCARPUS RETICULATUS	BLUEBERRY ASH	1	75L	6-8M

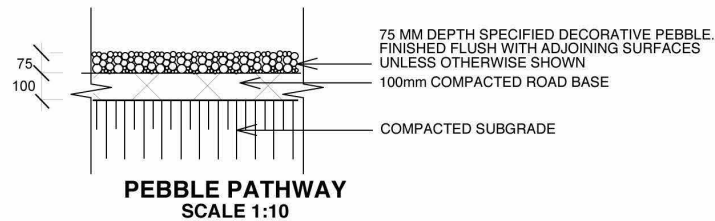
1 LANDSCAPE PLAN
Scale: 1 : 200



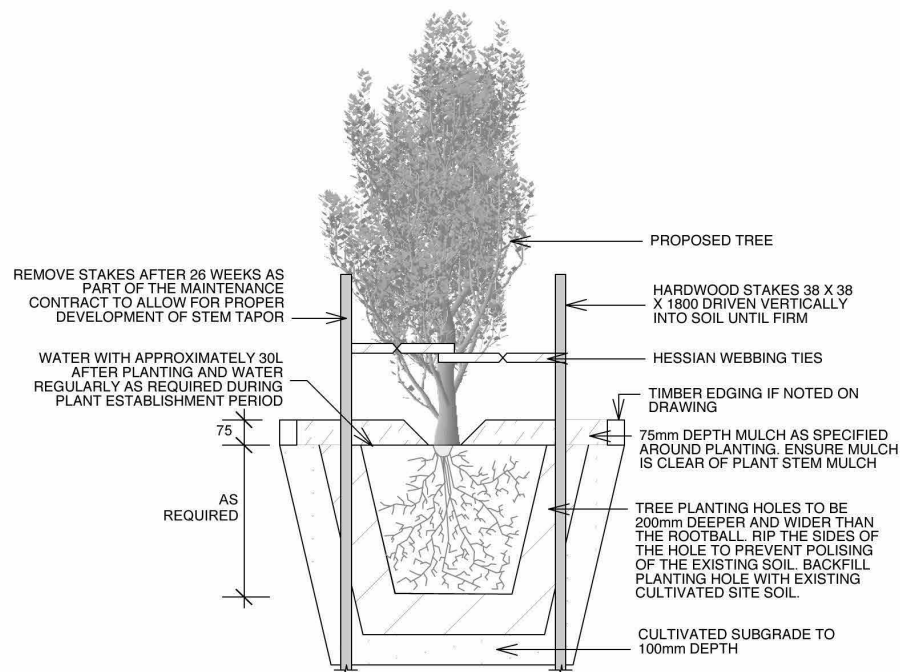
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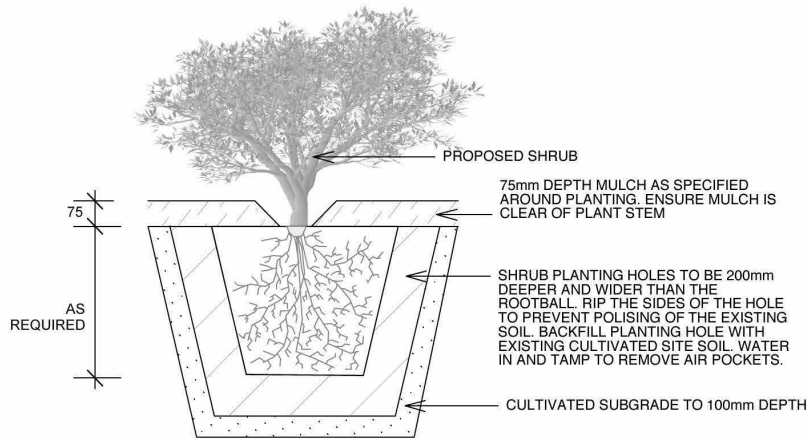
TYPICAL TIMBER EDGE DETAIL
SCALE 1:10
DO NOT SCALE



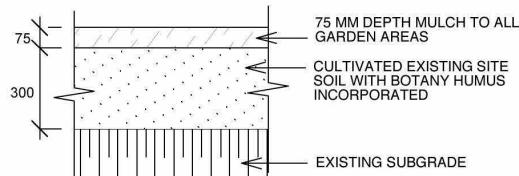
PEBBLE PATHWAY
SCALE 1:10



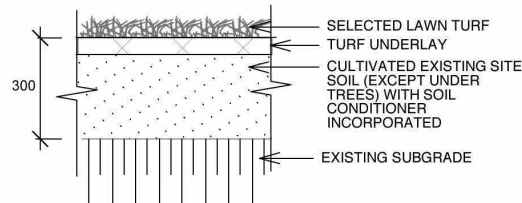
TREE PLANTING
& STAKING DETAIL
SCALE 1:20



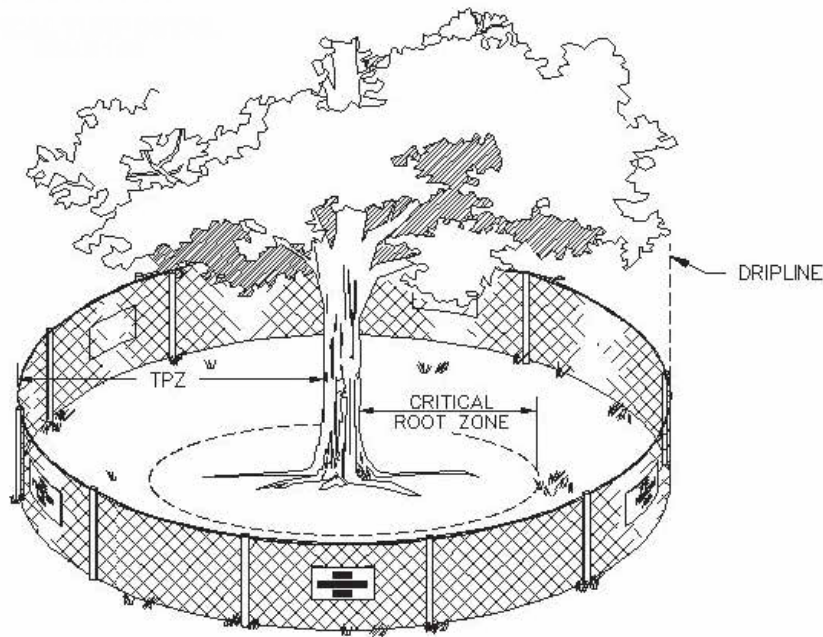
PLANTING DETAIL
SCALE 1:20



SOIL TO GARDEN AREAS
SCALE 1:20



TYF



SOFTWARES SPECIFICATION

MATERIALS

IMPORTED TOPSOIL TO AS2223 FROM AN APPROVED OFF-SITE SOURCE.
TO BE FREE FROM STONES, CLAY LUMPS, WEEDS AND TREE ROOTS MATERIAL TOXIC TO PLANTS.
COMPOST SPENT MUSHROOM COMPOST.
TOP SOIL MIXTURE TO BE 3 PARTS TOPSOIL, 1 PART COMPOST IN PLANTING AREAS.
SPREAD TO A DEPTH OF 100MM MINIMUM.
MULCH TO BE EUCALYPT LEAF CHIP.
SPREAD EVENLY TO A DEPTH, AFTER SETTLEMENT, OF 100MM.
FINISH FLUSH WITH SURROUNDING ADJACENT FINISHED SURFACES.
FERTILISER PLANTS: USE OSMOCOTE FOR NATIVES SLOW RELEASE FERTILISER
LAWNS: USE CONCENTRATED ORGANIC FERTILISERS SUCH AS 'DYNAMIC LIFTER FOR LAWNS'.
USE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
STAKES AND TIES
SIZE OF PLANT STAKE SIZE
5 LITRE TALL-GROWING SHRUBS 25 X 25 X 1500MM X 1 HW STAKES
25 - 35 LITRE TREES 38 X 38 X 1800MM X 2 HW STAKES
TIE MATERIAL 50MM WIDE JUTE WEBBING, GALV.STAPLED TO STAKE, TWISTED ONCE.

PREPARATION OF PLANTING AREAS

ELIMINATE WEEDS AND GRASS - USE 'ROUND-UP' MINIMUM 2 WEEKS PRIOR CLEARING OPERATIONS.
EXCAVATE TO 200MM BELOW FINISH LEVELS.
RIP OR CULTIVATE SUBGRADE TO A MINIMUM DEPTH OF 150MM.
BACKFILL WITH TOPSOIL MIXTURE, RAKE TO AN EVEN SURFACE FINISH.
SUPPLY AND SPREAD MULCH OVER THE SURFACE TO A DEPTH OF 100MM

TREE PLANTING

EXCAVATE HOLES APPROXIMATELY 800 X 800 X 800MM.
BREAK UP THE SUB BASE TO A MINIMUM DEPTH OF 100MM AND REMOVE ANY ROCKS AND DEBRIS.
SPRINKLE GYPSUM AT A RATE OF 0.3KG PER SQUARE METRE TO BASE OF PLACE FERTILISER AROUND OF THE ROOTBALL DURING BACKFILLING WITH TOP SOIL MIXTURE.
DISH THE SOIL 75MM BELOW SURROUNDING GRASS AREA TO FACILITATE WATERING.
INSTALL MULCH TO 100MM DEPTH.
STAKE AND TIE TREES.

MAINTENANCE PERIOD

TO BE SIX MONTHS MINIMUM AS REQUIRED BY COUNCIL CONDITIONS.

WATERING



INSTALL A TEMPORARY DOMESTIC TYPE IRRIGATION SYSTEM TO ALL GARDEN BEDS.
USE LAWN-TYPE SPRINKLERS FOR TURFED AREAS.
DEEP SOAK GARDENS AND TURFED AREAS MAXIMUM TWICE WEEKLY DURING DRY PERIODS.
DO NOT ALLW WATER TO RUN OFF LANDSCAPED AREAS ONTO ROADWAYS AND INTO STORMWATER PITS. SHOULD THIS HAPPEN, STOP WATERING OPERATIONS AND ALLOW WATER ALREADY APPLIED TO SEEP IN FOR HALF AN HOUR. THEN RESUME WATERING.

LAWN MOWING

MOW AT 14 DAY INTERVALS, TRIMMING ALL EDGES. GRASS CATCHERS MUST BE USED ON LAWN MOWERS AT ALL TIMES AND CLIPPINGS REMOVED OFF SITE EACH TIME OR MULCHED ON SITE.
REMOVE ALL WEED GROWTH OR GRASS TO BASE OF TREES/SHRUBS BY HAND. DO NOT USE 'ROUND UP'.
DO NOT USE ANY WHIPPER-SNIPPER TYPE EDGE TRIMMERS AROUND THE BASE OF ANY TREES IN LAWN AREAS.
REPLACE ANY FAILED TURF AND REPAIR BARE PATCHES.

PLANTING MAINTENANCE

DISEASE AND PEST CONTROL:
CONTROL PATHOLOGICAL DISEASES OR INSECT PESTS BY PHYSICAL REMOVAL. WHERE PHYSICAL REMOVAL IS NOT POSSIBLE.
USE REGISTERED NON-TOXIC SPRAYS APPLIED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
PRUNING AND TYING PLANTS:
PRUNE PLANTS TO REPAIR MECHANICAL DAMAGE, OR TO IMPROVE PLANT SHAPE OR TO CLEAR FOOTPATHS AND DRIVEWAYS.
ADJUST TIES TO GIVE ADEQUATE SUPPORT TO PLANTS AND REPLACE BROKEN OR DAMAGED TIES.
STRAIGHTEN STAKES.
PLANT REPLACEMENT:
REPLACE WITHOUT DELAY DAMAGED, DEAD OR STOLEN PLANTS. REPLACE WITH IDENTICAL SPECIES OF SIMILAR SIZE AND OF ORIGINAL SPECIFIED QUALITY.
MULCH:
TOP UP ALL MULCHED AREAS INCLUDING AROUND BASE OF TREES IN LAWN WITH MULCH AS SPECIFIED PRIOR END OF MAINTENANCE PERIOD TO A DEPTH OF 100MM

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OUTLINE LANDSCAPE SPECIFICATION

Preparation by Builder: Builder shall remove all existing concrete pathways, fences, footings, walls etc. not notated to be retained and complete all necessary excavation work prior to commencement on site by Landscape Contractor (Contractor). Builder shall also install new retaining walls, kerbs, layback kerb, crossover, pathways etc. and make good all existing kerbs, gutters etc. as necessary and to approval of Council. Builder shall ensure that a minimum 450mm of topsoil in garden areas and a minimum 150mm of topsoil in lawn areas exists. Should required depths not exist Builder shall contact Landscape Architect and ask for instructions prior to completion of excavation works.

Excavate as necessary, then fill with approved site topsoil to allow for minimum 500mm soil depth in garden areas and 150mm soil depth in lawn areas and to gain required shapes & levels. Ensure all garden and lawn areas drain satisfactorily. All levels & surface drainage shall be determined by others & approved on site by Head Contractor. Note: Approved imported topsoil mix may be utilised if there is insufficient site topsoil available. State in Tender a m3 rate for additional imported topsoil and the quantities of both site topsoil and imported topsoil allowed for in Tender.

Initial Preparation: Verify all dimensions & levels on site prior to commencement. Do not scale from drawings. Locate all underground & above ground services & ensure no damage occurs to them throughout contract. Spray approved weedicide to all proposed lawn & garden areas to manufacturer's directions. Remove existing concrete pathways, footings, walls etc. not notated to be retained & weeds from site. Levels indicated on Plan are nominal only and are derived from Architectural Plans & Drawings by others. Final structural integrity of all items shall be the sole responsibility of Landscape Contractor.

Tree Protection: Trees to be retained shall be protected during site works and construction by the erection of solid barricades to the specification of Council. Storage of machinery or materials beneath canopy of trees to be retained shall not be permitted. Changes to soil level and cultivation of soil beneath canopy of trees to be retained shall not be permitted unless under direct supervision of Landscape Architect. Existing trees shall be pruned to Landscape Architects onsite instructions.

Soil Preparation: Cultivate to depth of 300mm all proposed lawn & garden areas incorporating minimum 100mm depth of organic clay breaker into existing site soil. Do not cultivate beneath existing trees to be retained. In areas where fill is required gain required shapes & levels using a premium grade soil mix. In areas where excavation is required (if in clay) over excavate as required to to allow for installation of 500mm depth of premium grade topsoil mix to garden areas and 300mm depth of premium grade topsoil mix to lawn areas. Undertake all required action to ensure that no rootballs of proposed plants sit in clay wells and that all garden areas and lawn areas drain satisfactorily. Note it is intended that wherever possible existing levels shall not be altered through garden and lawn areas. It is the Contractors responsibility to ensure that the end result of the project is that all lawn and garden areas drain sufficiently (both surface & subsurface), are at required finished levels and have sufficient soil depths to enable lawn and plants to thrive and grow. Should alternative works to those specified be required to achieve the above result, Contractor shall inform Builder at time of Tender and request instructions.

Lawn Edging and Stepping Stones(i) 125 x 25mm approved tanalith impregnated pine edging shall be installed, to lines as indicated on plan and staked with approved stakes at maximum 1500mm centres at ends and changes of direction; stakes shall be nailed to edging with approved galvanised steel nails. Top of edging shall finish flush with surrounding surfaces. Top of stakes shall finish 25mm below top of edging(ii) Contractor shall install approved bricks on edge on a minimum 100mm deep x 90mm wide concrete footing with brick tor set in, to lines nominated on plan as brick edging. Bricks shall be laid with a nominal 10mm wide approved coloured mortar joint. Bricks needing to be cut shall be done so with clean sharp cuts. Top of edging shall finish flush with surrounding finished surfaces. Approved sandstone stepping stones shall be positioned as indicated on plan on a 25mm river sand bed.

Retaining Walls: Positions, detail and heights of retaining walls shall be by others.

Planting: Purchase plants from an approved nursery. Plants to be healthy & true to type & species. Set out plants to positions indicated on plan. Following approval, plant holes shall be dug approximately twice width and to 100mm deeper than plant rootballs that they are to receive. Base and sides of hole shall be further loosened. Fertiliser, followed by 100mm depth of topsoil mix shall then be placed into base of hole and lightly consolidated. Base of hole shall then be watered. Remove plant container and install plant into hole. Rootball shall be backfilled with surrounding topsoil and topsoil firmed into place. An approved shallow dish shall be formed to contain water around base of stem. Base of stem of plant shall finish flush with finished soil level. Once installed plant shall be thoroughly watered and maintained for the duration of the Contract.

Staking: All trees shall be staked using 2 x 38mm x 38mm x 2000mm long hardwood stakes per plant and with hessian webbing ties installed to Landscape Architect's on site instructions.

Mulching: Install 75mm depth of 25mm diameter hardwood mulch to all garden areas, coving mulch down around all plant stems & to finish flush with adjacent surfaces.

Turfing: Prepare for, level & lay cultivated Palmetto Buffulo turves to all areas nominated on plan as being lawn. Roll, water, fertilise, mow & maintain lawns as necessary until completion of maintenance period. At same time make good all existing lawn areas using same lawn type. Lawns in shade shall be over sown with an approved seed mix. Allow to retrim and returf councils nature strip as required.

Fencing: Retain all existing fences unless advised otherwise by builder. Install timber paling fences to heights indicated on Plan.

Paving: Areas to be paved shall be excavated or filled to allow for installation of bedding materials. Levels and falls shall be as per Plan. Surface drainage on paving shall be towards grated drains with all drains connected to stormwater system and installed by Builder.



Irrigation: Contractor shall supply and install an approved fully automatic, vandal resistant, computerised irrigation system to all garden and lawn areas, excluding council nature strip. Entire system shall be to approval of Water Board and shall utilise pop-up sprinklers and electronic controllers. Contractor shall be responsible to ensure that system is able to satisfactorily operate on available water pressure. Power supply for use by irrigation system shall be provided to an approved location near southwest corner of residence by others and shall consist of an approved weatherproof G.P.O. The irrigation system controller shall be housed in an approved waterproof cabinet mounted to external wall of residence.

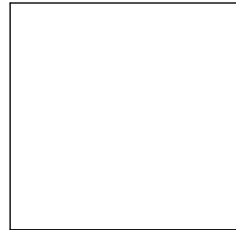
Clotheslines: Contractor shall allow for all necessary labour and materials and shall install clotheslines to positions as indicated on plan to manufacturer's instructions to approval of Landscape Architect. Clothesline type shall be equal to 'Hills Foldaline'.

Completion: Prior to practical completion remove from site all unwanted debris occurring from work. Satisfy Council that all landscaping work has been undertaken in strict accordance with Councils landscape codes & guidelines.

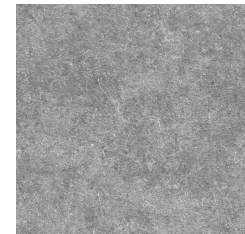
Maintenance Period: A twelve month maintenance period shall be undertaken by owner or owners representative as set out herein. Owner shall have care and maintenance of all work specified under this Contract and shall rectify any defective work for a period of 52 weeks following Practical Completion of Landscape Works. This period shall be herein known as the Maintenance Period. Work shall also include for the care and maintenance of all existing vegetation to be retained and proposed vegetation. Site shall be attended at least weekly and as otherwise required. The following works shall be undertaken during the Maintenance Period.

- (a) **Recurrent works** Undertake recurrent works throughout the Maintenance Period. These works shall include but are not limited to watering, weeding, fertilising, pest and disease control, returfing, staking and tying, replanting, cultivation, pruning, aerating, renovating, top dressing and the like.
- (b) **Watering** Regularly water all plants and lawn areas to maintain optimal growing conditions. Contractor shall adjust the water quantity utilised with regard to climatic conditions prevalent at the time.
- (c) **Replacements** Immediately replace plants which die or fail to thrive (at discretion of Landscape Architect) with plants of same species or variety and of same size and quality unless otherwise specified. Plant replacement shall be at Contractors expense, unless replacement is required due to vandalism or theft, which shall be determined by Landscape Architect. Required replacement of plants due to vandalism or theft shall be undertaken by Contractor and shall be paid for by Client at an agreed predetermined rate.
- (d) **Mulched surfaces** Maintain mulched surfaces in clean, tidy, weed-free condition and shall reinstate mulch as necessary to maintain specified depths.
- (e) **Stakes & ties** Adjust and/or replace stakes and ties as required. Remove stakes and ties at end of Maintenance Period if directed by Landscape Architect.
- (f) **Lawn areas** Lawn areas shall be mown at regular intervals to ensure non heading of lawn with a fine-cutting mulching mower and clippings left on lawn to mulch and self-fertilise lawn areas. Primary cut after laying of lawn by others shall be determined on site taking into consideration season, watering and growth rate of lawn. Following the primary cut all lawns shall be regularly mown as required to ensure a healthy lawn and a neat appearance. Care shall always be taken to ensure that no clippings are left on surrounding roads or garden areas after mowing. Replace lawn areas that fail to thrive at discretion of Landscape Architect. All new and made good lawn areas shall be barricaded off from pedestrian traffic by use of star pickets and brightly coloured plastic safety mesh until establishment of lawn. Barricades shall be removed upon establishment of lawn area.
- (g) **Weeding** Remove by hand, or by carefully supervised use of weedicide, any weed growth that may occur throughout Maintenance Period. This work shall be executed at weekly intervals so that all lawn and garden areas may be observed in a weed-free condition.
- (h) **Pruning** Prune new and existing plants (excluding existing trees) as necessary to maintain dense foliage conditions. Any rogue branches, or branches overhanging or obstructing pathways, roads, doorways, etc., shall be removed by approved horticultural methods.
- (i) **Spraying** Spraying for insect, fungal and disease attack shall be undertaken as required and in accordance with spray manufacturers recommendations at intervals taking into account the season of year during which landscape works are to be implemented.
- (j) **Tree Care** Should any existing trees be damaged during construction works immediately engage an experienced arboriculturist and then undertake any rectification work recommended by arboriculturist.

ISSUE	DATE	AMENDMENT	VERIFY ALL DIMENSIONS AND LEVELS ON SITE, REPORT ANY DISCREPANCIES PRIOR TO THE COMMENCEMENT OF WORK AND DO NOT SCALE FROM DRAWINGS. AYA CONSTRUCTIONS CANNOT GUARANTEE THE ACCURACY OF CONTENT AND FORMAT FOR COPIES OF DRAWINGS ISSUED ELECTRONICALLY. THE DRAWING SHALL NOT BE USED FOR CONSTRUCTION UNLESS ENDORSED FOR CONSTRUCTION AND AUTHORISED FOR ISSUE. INFORMATION CONTAINED IN THIS DRAWING/FILES IS THE COPYRIGHT OF AYA CONSTRUCTIONS. COPYING OR USING THIS DATA IN WHOLE OR PART, IN ANY FORMAT, WITHOUT PERMISSION INFRINGES COPYRIGHT.		AYA CONSTRUCTIONS 1300 123 AYA (292) 0433 022 992 P O BOX 665 KINGSGROVE NSW 2208 w: www.ayaconstructions.com.au E: info@ayaconstructions.com.au	PROJECT SECTION 4.55 ADDRESS 65 DALTON AVENUE, CONDELL PARK, NSW 2200	SHEET SIZE: A3 SCALE 1 : 200 DATE 3/10/2024 12:16:07 PM		SHEET NAME DRAWING NUMBER 13	LANDSCAPE SPECIFICATION	ISSUE NO.
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DULUX -
DIDUSTRY WHITE
COLOR OR
EQUIVALENT



CONCRETE DRIVEWAY

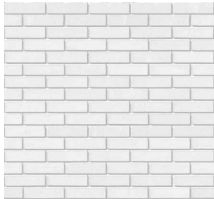
SELECTED
ALUMINIUM SLATS
ON GARAGE DOOR



SELECTED ALUMINIUM SLATS
(AWNING WINDOW BEHIND)

SELECTED SOLID
CORE ENTRY DOOR

ALUMINIUM FRAMED WINDOWS & DOORS



FACEBRICK
WHITE COLOR FINISHES
OR EQUIVALENT



DULUX 56151-DIDUSTRY GREY
COLOR OR EQUIVALENT

CEMENT RENDER WITH
SELECTED PAINT FINISH

FOR S.4.55 ONLY

ISSUE	DATE	AMENDMENT	VERIFY ALL DIMENSIONS AND LEVELS ON SITE, REPORT ANY DISCREPANCIES PRIOR TO THE COMMENCEMENT OF WORK AND DO NOT SCALE FROM DRAWINGS. AYA CONSTRUCTIONS CANNOT GUARANTEE THE ACCURACY OF CONTENT AND FORMAT FOR COPIES OF DRAWINGS ISSUED ELECTRONICALLY. THE DRAWING SHALL NOT BE USED FOR CONSTRUCTION UNLESS ENDORSED FOR CONSTRUCTION AND AUTHORISED FOR ISSUE. INFORMATION CONTAINED IN THIS DRAWING/FILES IS THE COPYRIGHT OF AYA CONSTRUCTIONS. COPYING OR USING THIS DATA IN WHOLE OR PART, IN ANY FORMAT, WITHOUT PERMISSION INFRINGES COPYRIGHT.		AYA CONSTRUCTIONS 1300 123 AYA (292) 0433 022 992 P O BOX 665 KINGSGROVE NSW 2208 w: www.ayaconstructions.com.au E: info@ayaconstructions.com.au	PROJECT SECTION 4.55 ADDRESS 65 DALTON AVENUE, CONDELL PARK, NSW 2200	SHEET SIZE: A3 SCALE DATE 3/10/2024 12:16:07 PM	SHEET NAME DRAWING NUMBER 14	SCHEDULE OF MATERIALS AND FINISHES	ISSUE NO.
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